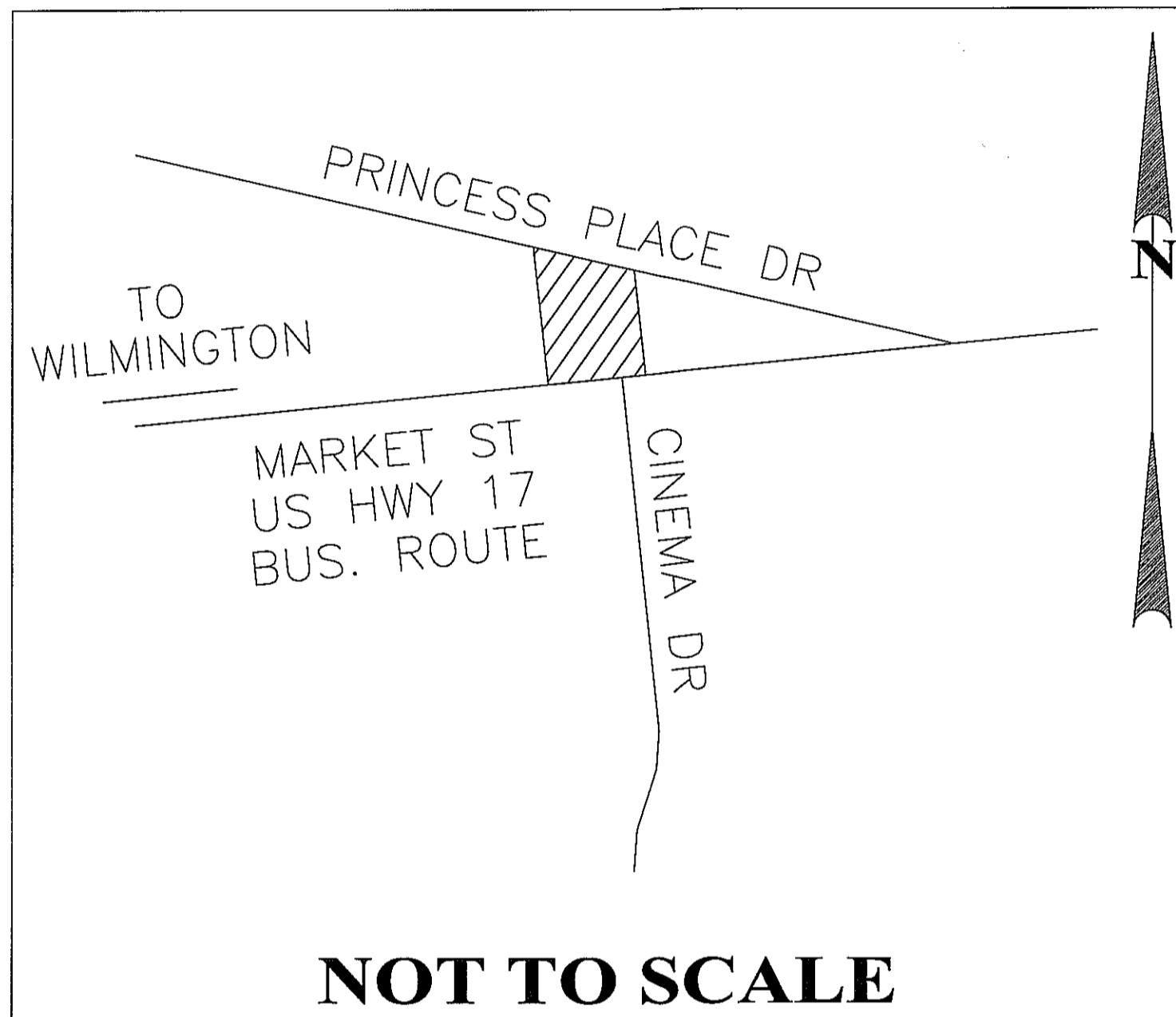


# MARKET STREET—WELLS FARGO BRANCH BANK

## SITE PLAN MINOR PLAN REVIEW

4195 MARKET STREET, WILMINGTON, NC 28403

### VICINITY MAP



### INDEX OF DRAWINGS

- C0.00 COVER SHEET
- C1.00 EXISTING CONDITIONS SURVEY
- C2.00 DEMOLITION PLAN
- C3.00 SITE LAYOUT PLAN
- C4.00 GRADING & EROSION CONTROL PLAN
- C5.00 SITE DETAILS
- C5.01 EROSION CONTROL DETAILS
- L1.00 LANDSCAPE PLAN

### PROJECT INFORMATION

PLANS PREPARED BY:  
LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING

OWNER INFORMATION:  
JIM ROCK, CCIM, CPM  
VICE PRESIDENT  
WELLS FARGO CORPORATE PROPERTIES GROUP  
822 PEBBLE DRIVE  
GREENSBORO, NC 27410  
336-202-0606

REQUIRED PERMITS:  
THIS PROJECT REQUIRES CITY OF WILMINGTON MINOR  
PLAN REVIEW PERMIT AND NCDOT DRIVEWAY PERMIT

### GENERAL NOTES

1. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
4. ALL DIMENSIONS ARE FROM FACE OF CURB.
5. CONTRACTOR IS RESPONSIBLE TO REPLACE AND/OR REPAIR ANY DAMAGES TO THE EXISTING LANDSCAPE, IRRIGATION, POWER AND/OR HARDSCAPE.

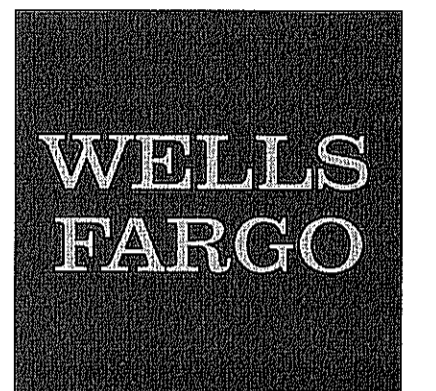
**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217  
T: 704.525.6350 F: 704.561.8700

www.littleonline.com

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6-10-14

ISSUE FOR

ISSUE DATE

06 JUNE 2014

REVISIONS

NO.	REASON	DATE
01	06/06/2014 PRICING DOCUMENTS	
02	06/09/2014 PLANNING SUBMITTAL	

PROJECT TEAM

PRINCIPAL IN CHARGE  
Nancy Everhart, AIA, LEED AP  
PROJECT MANAGER  
Dennis C. Terry, RLA  
DESIGN TEAM

PROJECT NAME  
WELLS FARGO  
4195 MARKET ST.  
WILMINGTON, NC

PROJECT NUMBER

123.2814.00

SHEET TITLE

COVER SHEET

RECEIVED  
JUN 13 2014

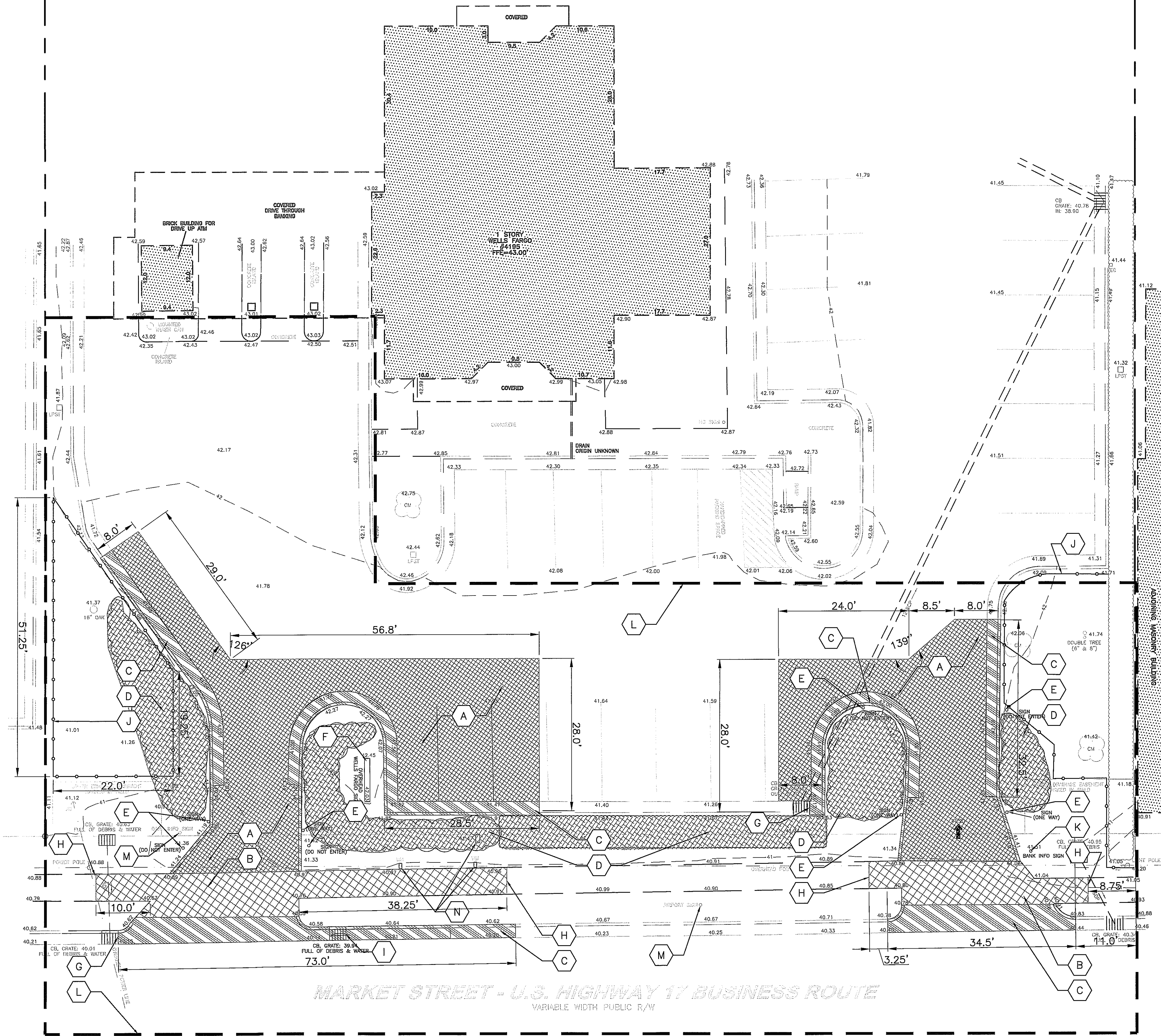
PLANNING DIVISION

SHEET NUMBER

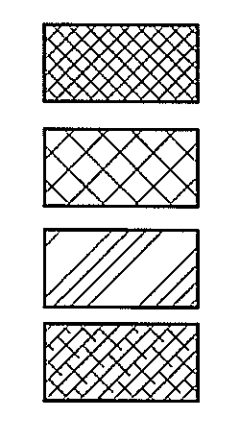
**C0.00**



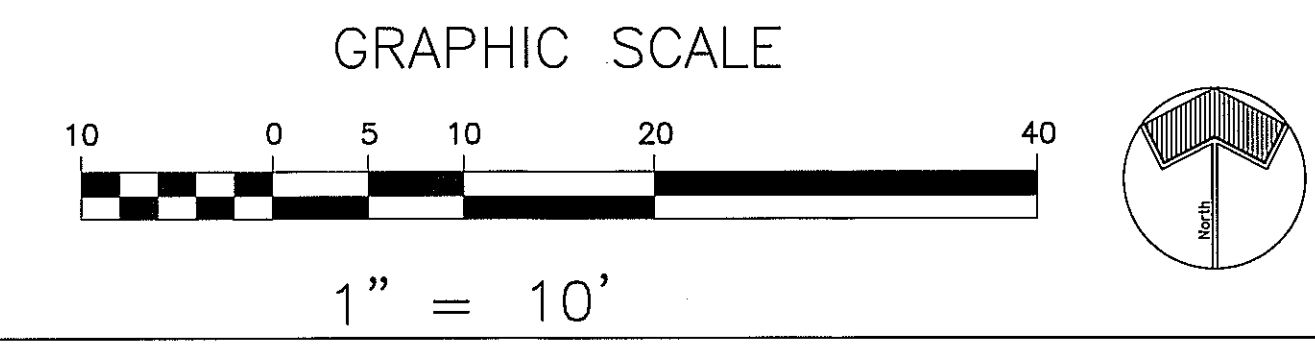




- DEMOLITION NOTES:**
- A. SAWCUT AND REMOVE EXISTING PAVEMENT. COORDINATE PAVEMENT CUTS WITH LAYOUT PLAN C3.00.
  - B. SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK. COORDINATE LIMITS WITH LAYOUT PLAN C3.00.
  - C. SAWCUT AND REMOVE EXISTING CURB AND GUTTER AND APRON. COORDINATE LIMITS WITH LAYOUT PLAN C3.00.
  - D. REMOVE EXISTING SHRUBS
  - E. REMOVE EXISTING SIGNAGE
  - F. RELOCATE EXISTING POLE SIGN. SEE SITE LAYOUT PLAN FOR NEW LOCATION.
  - G. TERMINATE CURB & GUTTER DEMOLITION AT EDGE OF EXISTING CURB INLET AS ILLUSTRATED. CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING INLET.
  - H. TERMINATE SIDEWALK DEMOLITION AT AN EXISTING SCORE JOINT.
  - I. CONVERT EXISTING CURB INLET TO JUNCTION BOX- SEE GRADING AND EROSION CONTROL PLAN. C4.00
  - J. TREE PROTECTION FENCE. SEE DETAIL 5015-09/C5.00.
  - K. RELOCATE EXISTING "BANK INFORMATION SIGN" PER SITE LAYOUT PLAN.
  - L. LIMITS OF CONSTRUCTION. (19555.23 SF)
  - M. EXISTING SIGN TO REMAIN AND BE PROTECTED
  - N. EXISTING WATER METER BOXES AND BACKFLOW PREVENTER TO REMAIN. ADJUST BOXES TO NEW ELEVATIONS AS NECESSARY.



**CAUTION!!!**  
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction



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 www.littleonline.com

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**LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.**  
 REGISTERED ARCHITECTURAL COMPANY, INC.  
 CERT. NO. 50033  
 NORTH CAROLINA  
 CHARLOTTE, NC

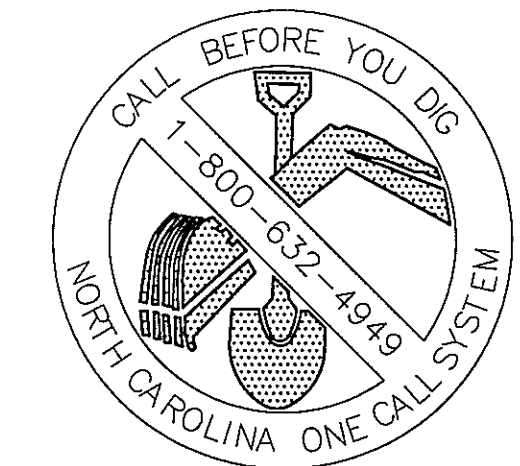
**NORTH CAROLINA**  
 LANDSCAPE ARCHITECT  
 No. 1053  
 6-10-14

NO.	REVISION	DATE
01	06/06/2014 PRICING DOCUMENTS	
02	06/09/2014 PLANNING SUBMITTAL	

PROJECT TEAM  
 PRINCIPAL IN CHARGE: Nancy Everhart, AIA, LEED AP  
 PROJECT MANAGER: Dennis C. Terry, RLA  
 DESIGN TEAM:

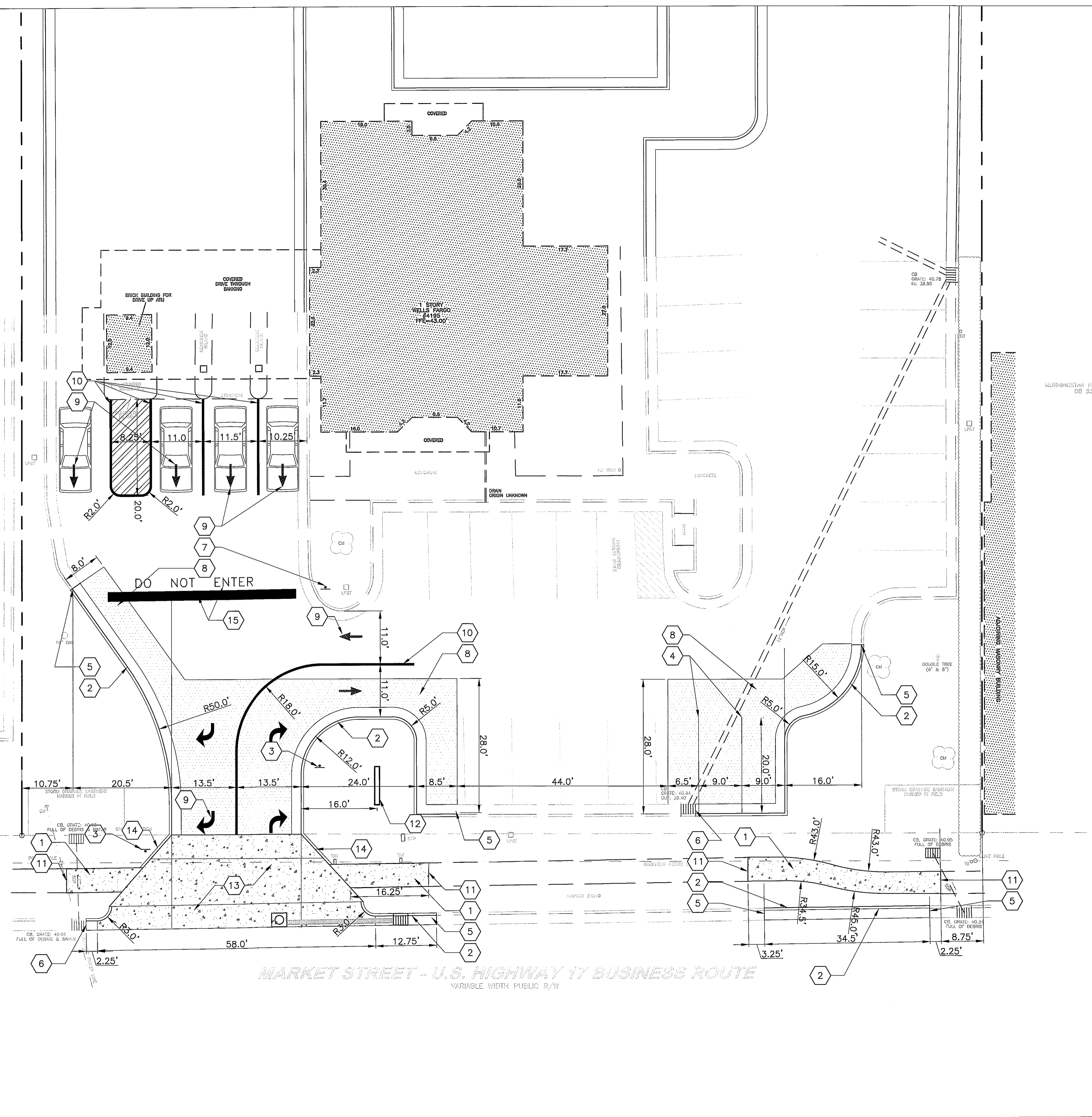
PROJECT NUMBER: 123.2814.00  
 SHEET TITLE: DEMOLITION PLAN

SHEET NUMBER: **C2.00**





F:\SDS\SiteCivil\101-2814-00 Wilmington Wells Fargo Site\CD\3.00 Site Layout Plan.dwg Jun 11, 2014-2:35pm



- LAYOUT NOTES:**
- CITY OF WILMINGTON STANDARD CONCRETE SIDEWALK. SEE DETAIL SD 3-10/C5.00.
  - CITY OF WILMINGTON STANDARD 2'-6" CURB AND GUTTER. SEE DETAIL SD 3-11/C5.00.
  - "RIGHT TURN ONLY" SIGN. SEE GENERAL NOTE A.
  - 4" WIDE PAINTED PARKING STRIPES. (WHITE) ALL DIMENSIONS ARE TO CENTER OF 4" PARKING STRIPE
  - LIMITS OF 2'-6" CURB & GUTTER TO MEET FLUSH WITH EXISTING.
  - LIMITS OF 2'-6" CURB & GUTTER TO MEET FLUSH WITH CURB INLET GRATE.
  - "ONE WAY" SIGN. SEE GENERAL NOTE A.
  - LIGHT DUTY ASPHALT PAVING. SEE DETAIL 1/C5.00.
  - PAINTED DIRECTIONAL ARROW (WHITE). SEE GENERAL NOTE A & DETAIL 2/C5.00.
  - 6" WIDE PAINTED LANE STRIPING (WHITE) (4" DIAGONAL STRIPING (WHERE ILLUSTRATED) ALL DIMENSIONS ARE TO THE CENTER OF 6" PAINT STRIPE
  - NEW CONCRETE SIDEWALK TO MEET FLUSH WITH EXISTING.
  - RELOCATED SIGN. COORDINATE WITH DEMOLITION PLAN. CITY OF WILMINGTON SIGNAGE PERMIT TO BE OBTAINED BY CONTRACTOR.
  - CITY OF WILMINGTON STANDARD DRIVEWAY APRON. SEE DETAIL SD 8-02/C5.00.
  - CITY OF WILMINGTON VERTICAL CURB. SEE DETAIL SD 3-11/C5.00.
  - 24" WIDE PAINTED STOP BAR AND 18" HIGH PAINTED LETTERS "DO NOT ENTER". (WHITE)

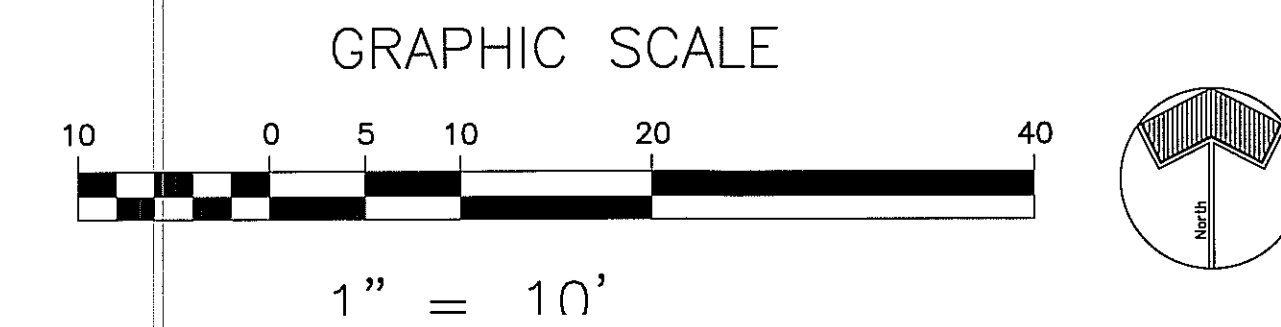
**PARKING SUMMARY:**

<b>EXISTING PARKING</b>	
EXISTING PARKING SPACES	= 49
EXISTING ACCESSIBLE SPACES	= 3
TOTAL EXISTING SPACES	= 52
EXISTING SPACES TO BE DEMOLISHED	= 2
TOTAL SPACES FOLLOWING DEMOLITION	= 50
<b>PROPOSED PARKING</b>	
PROPOSED PARKING SPACES	= 2
PROPOSED ACCESSIBLE SPACES	= 0
TOTAL PROPOSED SPACES	= 2
<b>TOTAL PARKING</b>	
EXISTING PARKING	= 50
PROPOSED PARKING	= 2
TOTAL PARKING	= 52 (NO NET GAIN OR LOSS)

**IMPERVIOUS AREA:**

<b>EXISTING IMPERVIOUS</b>	
EXISTING SITE AREA	= 48,613 S.F.
EXISTING LANDSCAPE AREA	= 11,787 S.F.
EXISTING IMPERVIOUS AREA	= 36,826 S.F.
<b>PROPOSED IMPERVIOUS</b>	
EXISTING IMPERVIOUS AREA DEMOLISHED	= 839 S.F.
EXISTING IMPERVIOUS AREA INSTALLED	= 540 S.F.
TOTAL NEW IMPERVIOUS AREA	= -299 S.F.

- GENERAL NOTES:**
- ALL TRAFFIC CONTROL SIGNAGE, STRIPING, AND DIRECTIONAL ARROWS TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
  - THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNERS UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE EXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-LOCO (1-800-632-4949) PRIOR TO DIGGING.
  - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
  - CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
  - ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.
  - NEW CONCRETE SIDEWALKS SHALL BE 4" THICK, 3000 PSI PORTLAND CEMENT CONCRETE OVER COMPACTED SUBGRADE WITH 1" DEEP (1/8" RADIUS) GROOVE JOINTS (C.J.) AND 1/2" EXPANSION JOINTS ( ) AT INTERVALS INDICATED ON THE PLAN AND ABUTTING ALL RIGID STRUCTURES. IN NO CASES SHALL EXP.JT. SPACING EXCEED 30'-0".
  - ALL DIMENSIONS ARE TO FACE OF CURB OR TO FINISHED FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - ALL RADI ON CURBS SHALL BE 5'-0" UNLESS NOTED OTHERWISE.



**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

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**WELLS FARGO**

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REGISTERED ARCHITECTURAL CONSULTANT  
NORTH CAROLINA  
CHARLOTTE, NC  
CERT. NO. 50033

NORTH CAROLINA  
REGISTERED LANDSCAPE ARCHITECT  
No. 1059  
6-10-14

ISSUE DATE  
**06 JUNE 2014**

NO.	REASON	DATE
01	06/06/2014 PRICING DOCUMENTS	
02	06/09/2014 PLANNING SUBMITTAL	

PROJECT TEAM  
PRINCIPAL IN CHARGE  
Nancy Everhart, AIA, LEED AP  
PROJECT MANAGER  
Dennis C. Terry, RLA  
DESIGN TEAM

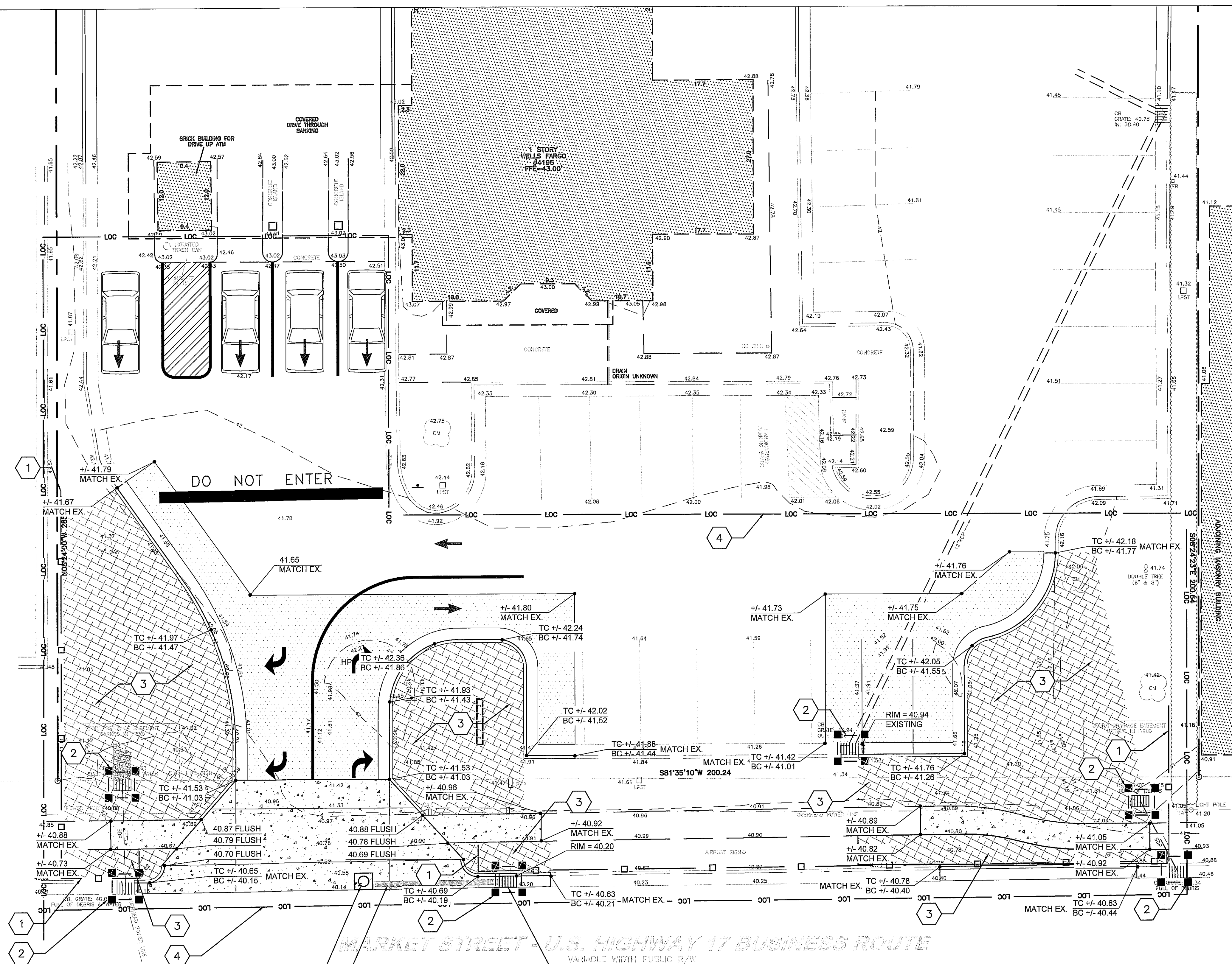
PROJECT NAME  
**WELLS FARGO**  
4195 MARKET ST.  
WILMINGTON, NC

PROJECT NUMBER  
**123.2814.00**

SHEET TITLE  
SITE LAYOUT PLAN

SHEET NUMBER  
**C3.00**





REMOVE EX CATCH BASIN HOOD, GRATE AND TOP SLAB, MODIFY BOX TO MEET NEW ELEVATIONS AND INSTALL NEW TOP SLAB WITH FLUSH MANHOLE COVER FOR JUNCTION BOX

24 L.F. OF 15" CLASS IV RCP @ 5% MIN. (MATCH EXISTING INVERTS - CONTRACTOR TO VERIFY EXISTING INVERT AND EXISTING RCP SIZE)

NEW CITY OF WILMINGTON STANDARD CURB INLET. SEE DETAIL SD 2-01/C5.00. (MATCH EXISTING INVERTS - CONTRACTOR TO VERIFY EXISTING INVERT)

**GRADING NOTES:**

1. VERIFY ALL EXISTING GRADES. REPORT ANY DISCREPANCIES TO ARCHITECT.
2. ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC. WHERE APPLICABLE.
3. THE ENTIRE SITE WITHIN THE LIMIT OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. UNPAVED AREAS DISTURBED BY CONSTRUCTION, WHETHER INSIDE OR OUTSIDE OF THE LIMIT OF CONSTRUCTION, SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN.
4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES (INCLUDING SANITARY, STORM DRAINAGE, AND WATER) FROM DAMAGE DURING CONSTRUCTION. ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE MINIMUM EARTH COVER SHALL BE RELOCATED AS DETERMINED BY THE ARCHITECT.
5. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
6. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
7. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
9. THE UTILITIES AND THE LOCATION THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS ETC.) WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION. UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTACT U-LOCO (1-888-721-7877) PRIOR TO DIGGING.
10. CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH ARCHITECT / ENGINEER PRIOR TO PROCEEDING.
11. ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER, PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER, OR OWNER'S REPRESENTATIVE IN CASE UNSUITABLE MATERIAL IS UNCOVERED.

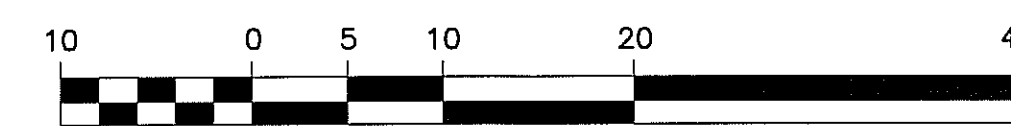
**EROSION CONTROL/MAINTENANCE NOTES:**

- A. NO ON-SITE BURIAL PIT WILL BE LOCATED ON THIS SITE. CONTRACTOR RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS.
- B. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- C. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- D. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP AND INLET PROTECTION DEVICES WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
- E. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 6" DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- F. PERMANENT GROUND COVER MUST BE ESTABLISHED WITHIN THE PROPOSED DITCHES AND CHANNELS. ADDITIONAL MECHANICAL MEASURES WILL BE REQUIRED IF VEGETATIVE COVER CAN NOT BE ESTABLISHED AS PROPOSED.
- G. PROVIDE STRAW EROSION CONTROL BLANKET WITH BIODEGRADABLE NETTING & 0.5 LBS/SQYD STRAW FIBER ON ALL SLOPES THAT ARE 3:1 OR STEEPER AND ARE NOT ALREADY SPECIFIED TO RECEIVE ANOTHER TYPE OF BLANKET.
- H. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN.
- I. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE STATE.
- J. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND NODENR.
- K. INLET PROTECTION IS REQUIRED FOR ALL INLETS LOCATED IN THE WORKING AREA AND REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
- L. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT TRACKING MUD/ SOIL ON ADJACENT ROADWAYS. ANY MUD/SOIL TRACKED ON ADJACENT ROADWAYS SHALL BE CLEANED DAILY BY THE CONTRACTOR.

**EROSION CONTROL LEGEND:**

1. SILT FENCE - SEE DETAIL 2/C5.01
2. BLOCK & GRAVEL INLET PROTECTION - SEE DETAIL 3/C5.01
3. TEMPORARY SEEDING - SEE DETAIL 5/C5.01
4. LIMITS OF CONSTRUCTION (DENUDED AREA = 0.17 ACRES)

GRAPHIC SCALE



1" = 10'



**CAUTION!!!**  
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction

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REGISTERED ARCHITECTURAL CONSULTING  
CERT. NO. 50033  
NORTH CAROLINA  
CHARLOTTE, NC

STATE OF NORTH CAROLINA  
REGISTERED LANDSCAPE ARCHITECT  
No. 1053  
DENNIS C. TERRY  
6-10-14

ISSUE FOR

NO.	REASON	DATE
01	06/06/2014 PRICING DOCUMENTS	
02	06/09/2014 PLANNING SUBMITTAL	

ISSUE DATE  
**06 JUNE 2014**

PROJECT TEAM  
PRINCIPAL IN CHARGE  
Nancy Everhart, AIA, LEED AP  
PROJECT MANAGER  
Dennis C. Terry, RLA  
DESIGN TEAM

PROJECT NAME  
**WELLS FARGO**  
4195 MARKET ST.  
WILMINGTON, NC

PROJECT NUMBER  
**123.2814.00**

SHEET TITLE  
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER  
**C4.00**



**STANDARD DETAIL**  
**DRIVEWAY STANDARD DRIVEWAY DETAIL**

DATE: 2001  
DRAWN BY: JSC/SG  
CHECKED BY: A.P./E  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807  
SD 8-02

**STANDARD DETAIL**  
**CURBING**

DATE: AUGUST, 2011  
DRAWN: P/B/S/R  
CHECKED: D/C  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807  
SD 3-11

**STANDARD DETAIL**  
**SIDEWALK**

DATE: OCTOBER, 2010  
DRAWN: P/B/S/R  
CHECKED: D/C  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807  
SD 3-10

**STANDARD DETAIL**  
**CATCH BASIN**

DATE: 2005  
DRAWN BY: JSC/ENR  
CHECKED BY: B.P./E  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807  
SD 2-01

**STANDARD DETAIL**  
**PAVEMENT REPAIRS-UTILITY CUTS**

DATE: MAY, 2013  
DRAWN BY: J/R  
CHECKED BY: D/C, P/E  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
212 OPERATIONS CENTER DRIVE  
WILMINGTON, NC 28412  
(910) 341-7807  
SD 1-05

**STANDARD DETAIL**  
**TREE PROTECTION DURING CONSTRUCTION**

DATE: 2007, 2011  
DRAWN BY: J/R  
CHECKED BY: B.P./E  
SCALE: NOT TO SCALE

CITY OF WILMINGTON  
NORTH CAROLINA  
ENGINEERING OFFICE  
PO BOX 1810  
WILMINGTON, NC 28402  
(910) 341-7807  
SD 15-09

**CONCRETE NOTES**

- UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33.
- CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI OR AS REQUIRED TO SATISFY SITE SOIL CONDITIONS AS DETERMINED BY THE PROJECT SOILS ENGINEER.
- WATER SHALL BE POTABLE, CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DEleterious TO CONCRETE OR REINFORCEMENT.
- ADMIXTURES TO BE USED IN CONCRETE SHALL BE SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
- MAXIMUM PERMISSIBLE WATER-CEMENT RATIOS FOR CONCRETE WHEN STRENGTH DATA FROM TRIAL BATCHES ARE NOT AVAILABLE SHALL CONFORM TO TABLE 4.5 OF ACI STANDARD 318-77 OR BASED ON SULFATE CONTENT OF THE SITE SOILS, AS DETERMINED BY THE SOILS ENGINEER. THE LOWER WATER-CEMENT RATIO SHALL GOVERN.
- CONCRETE SHALL BE CURED WHILE IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT. METHODS FOR ACCELERATED CURING SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.
- THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE:  
SLABS ON GRADE.....CENTER OF SLAB  
CONCRETE BELOW GRADE, FORMED.....2"  
CONCRETE BELOW GRADE, UNFORMED.....3"  
(POURED AGAINST EARTH).....1-1/2"  
CONCRETE EXPOSED TO WEATHER.....1-1/2"

**PAINTED DIRECTIONAL ARROWS**

NOT TO SCALE

**LIGHT-DUTY ASPHALT**

NOT TO SCALE

3 CONCRETE NOTES  
NOT TO SCALE

2 PAINTED DIRECTIONAL ARROWS  
NOT TO SCALE

1 LIGHT-DUTY ASPHALT  
NOT TO SCALE

**LITTLE**  
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**WELLS FARGO**

**LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.**  
REGISTERED ARCHITECTURAL CONSULTING FIRM  
CERT. NO. 50033  
NORTH CAROLINA  
CHARLOTTE, NC

**NORTH CAROLINA**  
REGISTERED ARCHITECTURAL CONSULTING FIRM  
No. 1053  
DIVERSIFIED ARCHITECTURAL CONSULTING, INC.

6-10-14

ISSUE FOR

ISSUE DATE  
**06 JUNE 2014**

NO.	REVISION	DATE
01	05/06/2014	
02	06/09/2014	

PROJECT TEAM  
PRINCIPAL IN CHARGE: Nancy Everhart, AIA, LEED AP  
PROJECT MANAGER: Dennis C. Terry, RLA  
DESIGN TEAM:

PROJECT NAME  
**WELLS FARGO**  
4195 MARKET ST.  
WILMINGTON, NC

PROJECT NUMBER  
**123.2814.00**

SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**C5.00**

F:\SDS\SiteCivil\101-2814-00 Wilmington Wells Fargo\Site\CD's\05.01 Site Details.dwg Jun 11, 2014-2:42pm

**TEMPORARY SEEDING**

**SOIL AMENDMENTS**

FOLLOW RECOMMENDATIONS OF SOIL TEST OR APPLY 2,000 LB / ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB / ACRE 10-10-10 LIMESTONE. APPLY FERTILIZER AND LIMESTONE UNIFORMLY AND INCORPORATE TOP 4-6 INCHES OF SOIL. IF A HYDRAULIC SEEDER IS USED, DO NOT MIX SEED AND FERTILIZER MORE THAN 30 MINUTES PRIOR TO APPLICATION.

**MULCH**

APPLY 4,000 LB / ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

RESEED AND MULCH AREAS WHERE SEEDLING EMERGENCE IS POOR, OR WHERE EROSION OCCURS, AS SOON AS POSSIBLE. DO NOT MOW. PROTECT FROM TRAFFIC AS MUCH AS POSSIBLE.

**SEEDING MIXTURES**

LATE WINTER - EARLY SPRING:

SPECIES	RATE (LB / ACRE)
RYE (GRAIN)	120
ANNUAL LESPEDEZA	50
(KOBÉ IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	

OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.

SEEDING DATES (PIEDMONT): JAN. 1 - MAY 1

SUMMER:

SPECIES	RATE (LB / ACRE)
GERMAN MILLET	40

IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB / ACRE.

SEEDING DATES (PIEDMONT): MAY 1 - AUG. 15

FALL:

SPECIES	RATE (LB / ACRE)
RYE (GRAIN)	120

SEEDING DATES (PIEDMONT): AUG. 15 - DEC. 30

SPECIAL MAINTENANCE PRACTICES: REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB / ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB / ACRE KOBÉ (PIEDMONT) LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

**PERMANENT SEEDING**

SPECIES RATE (LB / ACRE)

TALL FESCUE	80
SERICA LESPEDEZA	20
KOBÉ LESPEDEZA	10

**SEEDING NOTES**

- AFTER AUG. 15, USE UNSCARIFIED SERICEA SEED.
- WHERE PERIODIC MOWING IS PLANNED OR WHERE A NEAT APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBÉ LESPEDEZA TO 40 LB / ACRE.
- TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15 LB / ACRE HULLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

**NURSE PLANTS**

BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB / ACRE GERMAN MILLET OR 15 LB / ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB / ACRE RYE (GRAIN).

**SEEDING DATES**

	BEST	POSSIBLE
FALL	AUG. 25 - SEPT. 15	AUG. 20 - OCT. 25
LATE WINTER	FEB. 15 - MAR. 21	FEB. 1 - APR. 15

FALL IS BEST FOR TALL FESCUE, AND LESPEDEZAS IN LATE WINTER. OVERSEEDING OF KOBÉ LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE. USE UNHULLED BERMUDAGRASS SEED IN FALL.

**SOIL AMENDMENTS**

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB / ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB / ACRE 10-10-10 FERTILIZER.

**MULCH**

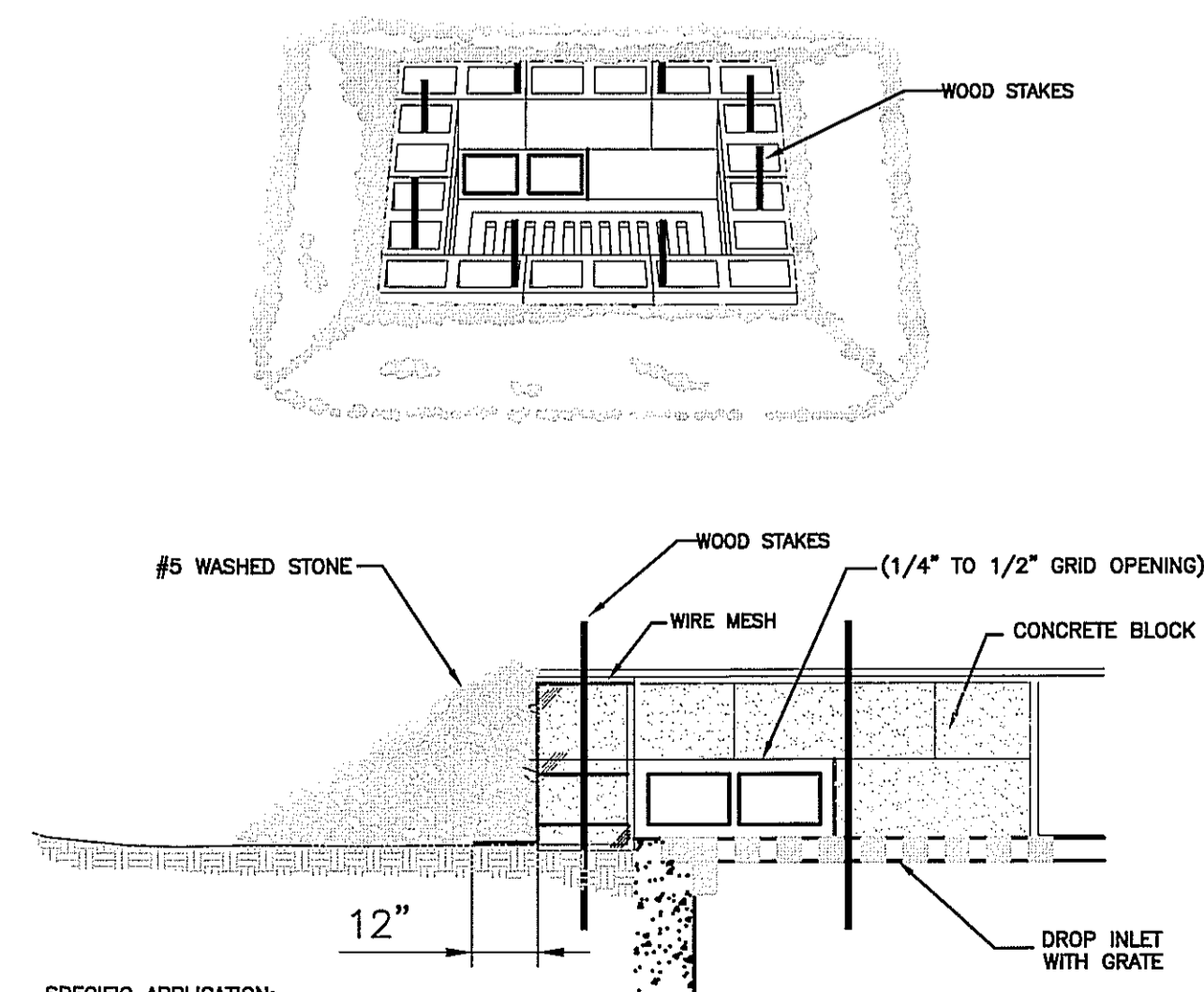
APPLY 4,000 LB / ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR MULCH BY TACKING WITH ASPHALT, ROVING, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**

REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE, AND MULCH DAMAGED AREAS IMMEDIATELY.

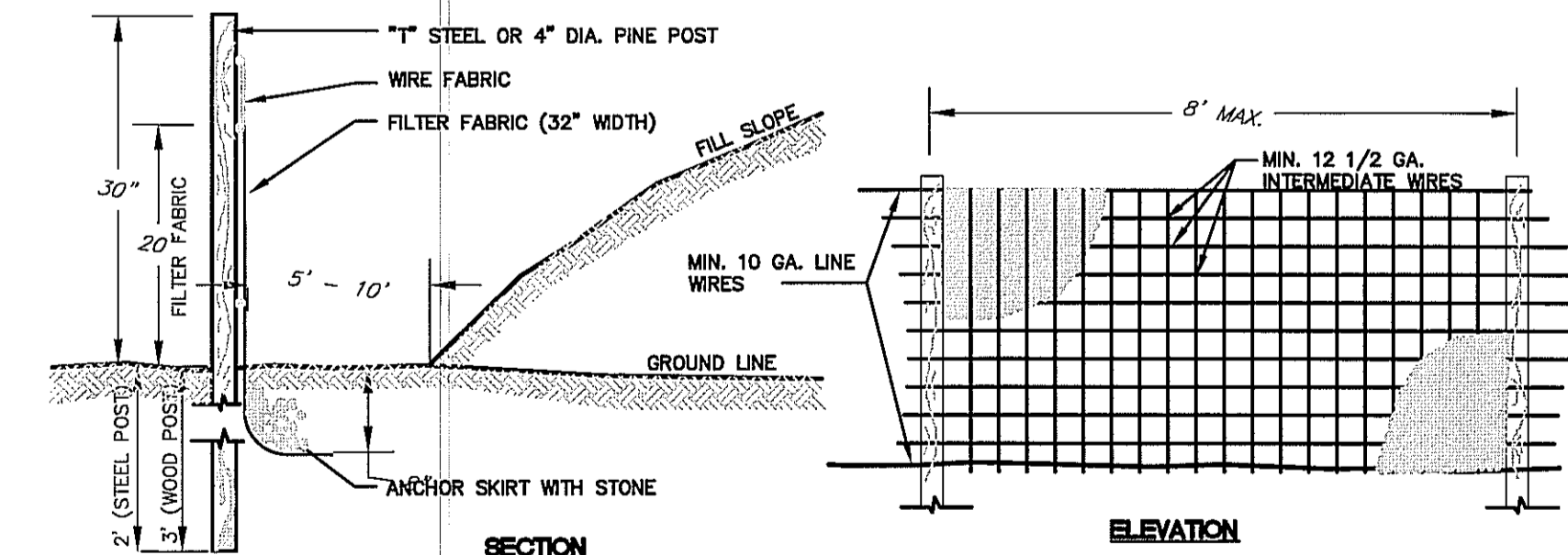
REFER TO APPENDIX B.02 OF NCDENR'S EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR BOTANICAL NAMES.

**3 NCDENR SEEDING SPECIFICATIONS**



SPECIFIC APPLICATION:  
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

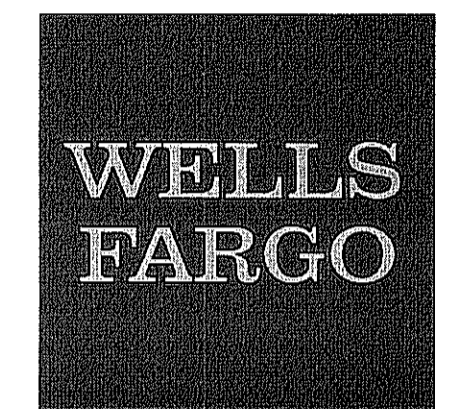
**2 INLET PROTECTION**  
NOT TO SCALE



- GENERAL NOTES**
- FENCE FABRIC SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" SPACING.
  - FILTER FABRIC SHALL BE MIRAFI 140 FABRIC OR EQUIVALENT.
  - BURLAP CANNOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
  - STEEL POST SHALL BE 5" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  - WOOD POST SHALL BE 6" IN HEIGHT AND 4" IN DIAMETER.
  - WIRE FABRIC SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN #9 WIRE STAPLES 1 1/2" LONG.

- MAINTENANCE NOTES**
- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT AND WHEN THEY DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

**1 SILT FENCE**  
NOT TO SCALE



6-10-14

ISSUE DATE  
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PRINCIPAL IN CHARGE  
Nancy Everhart, AIA, LEED AP  
PROJECT MANAGER  
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DESIGN TEAM

PROJECT NAME  
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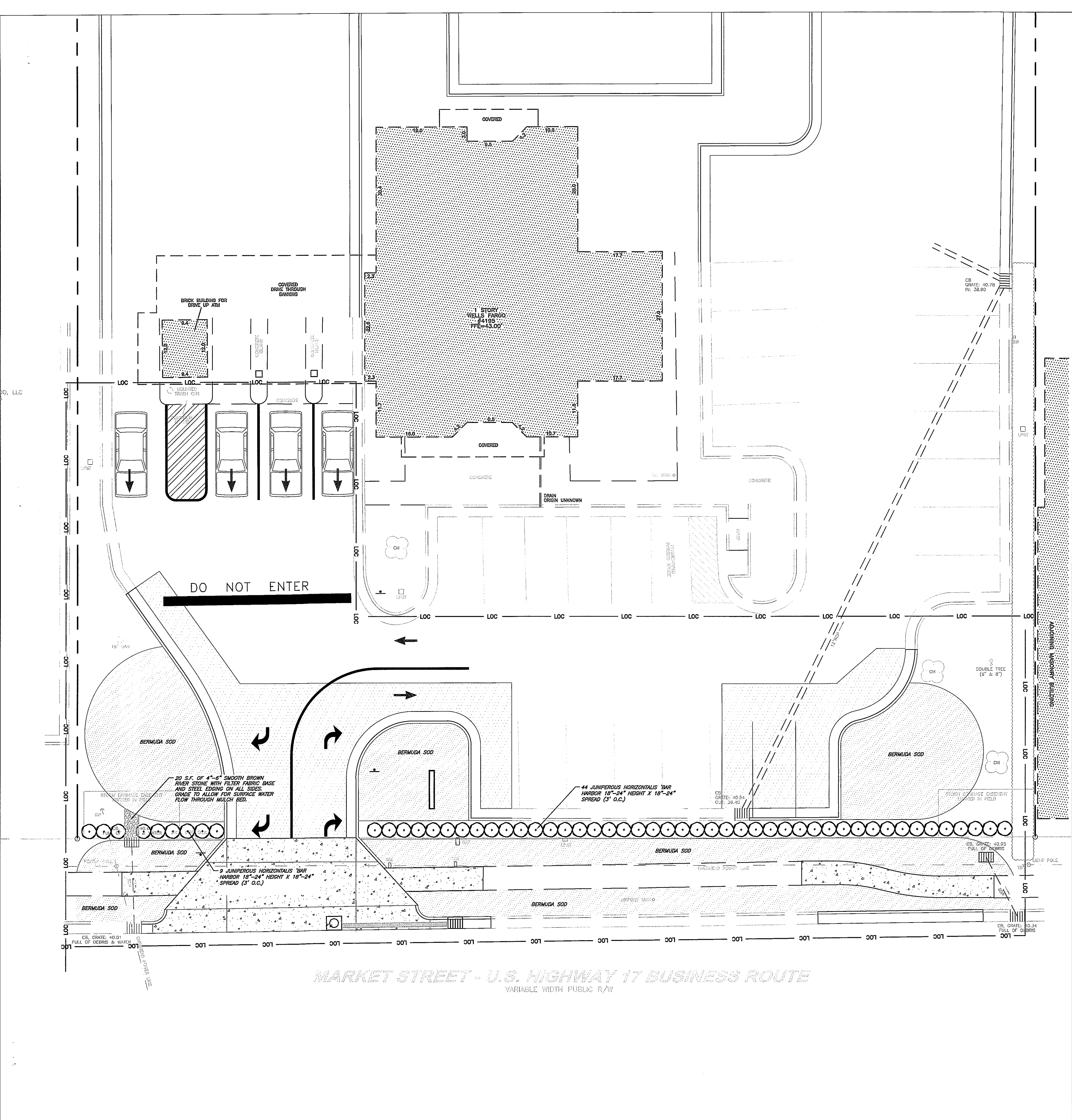
PROJECT NUMBER  
**123.2814.00**

SHEET TITLE  
**EROSION CONTROL DETAILS**

SHEET NUMBER  
**C5.01**



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**IRRIGATION REQUIREMENTS**

CONTRACTOR SHALL DESIGN AND INSTALL A COMPLETE FUNCTIONING IRRIGATION SYSTEM FOR ALL TURF AND PLANTING AREAS, WITHIN PROJECT CONSTRUCTION LIMITS. CONTRACTOR SHALL SUBMIT IRRIGATION PLANS FOR ENTIRE SYSTEM TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. PLANS SHALL INCLUDE A COMPLETE SEPARATION OF SHRUB AND TURF AREAS. PLANS SHALL INCLUDE CONTROLLER, ALL SLEEVING, ELECTRIC VALVES, HEADS, LATERALS, MAINS, DRIP LINES CONNECTIONS TO EQUIPMENT, AND ALL OTHER COMPONENTS NECESSARY FOR A WORKING IRRIGATION SYSTEM. ALL CONTROLLERS, VALVES AND HEADS TO BE MADE BY THE SAME MANUFACTURER. BACKFLOW PREVENTOR TO BE PROVIDED BY CONTRACTOR AND SHALL CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER BOX.

**IRRIGATION NOTES**

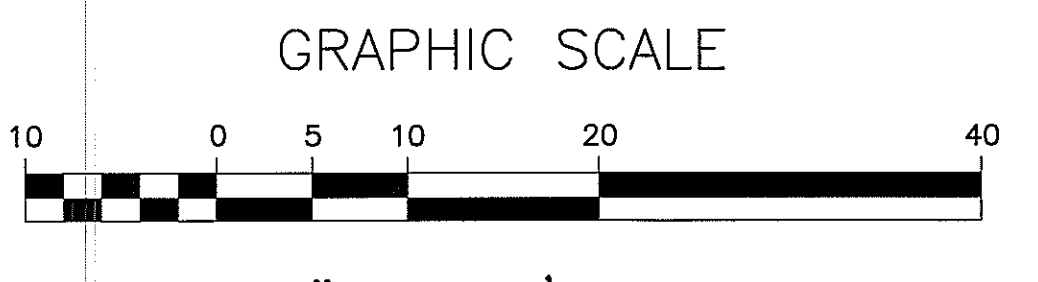
1. CONTRACTOR SHALL VERIFY THAT AVAILABLE WATER PRESSURE IS ADEQUATE FOR IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
2. CONTRACTOR TO PROVIDE IRRIGATION LAYOUT DESIGN TO ARCHITECT FOR APPROVAL. SEE IRRIGATION REQUIREMENTS PARAGRAPH.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF WATER METERS, BACKFLOW PREVENTERS, VALVES, ELECTRIC WIRING FOR THE IRRIGATION SYSTEM, ALL SLEEVING, ALL FITTINGS, ADAPTERS, ETC. TO COMPLETE THE IRRIGATION SYSTEM.
4. CONTRACTOR SHALL ADJUST ALL HEADS IN FIELD TO INSURE MAXIMUM COVERAGE, ELIMINATE OVERTHROW ONTO PAVED AREAS, BUILDING AND WALL SURFACES. (LOCATE HEADS 3" CLEAR OF ALL HARDSCAPE SURFACES.) ALL AUTOMATIC VALVES SHALL BE INSTALLED IN A VALVE BOX AS SPECIFIED. COORDINATE SLEEVES WITH GENERAL CONTRACTOR.
5. CONTRACTOR SHALL COORDINATE PIPING LAYOUT WITH LANDSCAPE PLAN TO INSURE PIPES DO NOT INTERFERE WITH ROOT BALLS OF TREES OR ROWS OF SHRUBS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
6. CONTRACTOR SHALL VERIFY THAT ALL PERTINENT LOCAL AND STATE CODES ARE BEING OBSERVED.
7. CONTRACTOR TO PROVIDE THRUST BLOCKS ON MAIN LINE AT ALL BENDS AND TURNS.
8. IRRIGATE ALL TREES WITHIN PROJECT LIMITS.
9. PROVIDE GATE VALVES AT DOWNSTREAM SIDE OF BACKFLOW AND AT HYDRAULIC CONTROLLERS.

**GENERAL PLANTING NOTES:**

1. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
2. NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
3. FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINESTRAW MULCH.
4. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO CONFORM TO SPECIFICATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
6. MULCH ALL PLANTING BEDS WITH HARDWOOD MULCH TO A 3" DEPTH (MATCH EXISTING MULCH).
7. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
8. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING. GRAPHIC REPRESENTATION OF PLANTS SHALL SUPERCEDE QUANTITIES LISTED IN THE PLANT SCHEDULE.
9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
10. ALL PLANTING BEDS TO RECEIVE AN AMENDED SOIL MIXTURE. SOIL MIX SHALL BE COMPOSED OF 75% EXISTING SOIL AND 15% ORGANIC MATERIAL (OR APPROVED EQUAL) AND 10% SAND. SUPPLEMENT SOIL MIX WITH HIGHER CONCENTRATION OF NITROGEN.
11. LANDSCAPE CONTRACTOR TO APPLY A PRE-EMERGENT HERBICIDE, 'PREEN' OR EQUAL TO ALL PLANT BED AREAS.
12. IN ADDITION TO THE SOIL MIXTURE, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ANY NECESSARY SOIL AMENDMENTS, AS INDICATED BY SOIL TESTS, AS WELL AS, AN ADEQUATE DRAINAGE SYSTEM FOR PLANTING BEDS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ENVIRONMENT SUITABLE FOR THE GROWTH OF HEALTHY PLANT MATERIAL.
13. REFER TO PLANTING DETAILS FOR INFORMATION ON PLANTING BED PREPARATIONS. ALL AREAS NOT DESIGNATED AS PLANTING BEDS OR SOD ARE TO BE SEEDED WITH GRASS SEED WITH THE WITH THE INTENT AND PURPOSE OF ESTABLISHING A PERMANENT STAND OF GRASS.
14. ALL PLANT MATERIAL MUST BE PLANTED IN CORRELATION WITH THE APPROPRIATE GROWING SEASON OF INDIVIDUAL PLANT REQUIREMENTS. SOME PERENNIALS MAY REQUIRE A SPRING PLANTING IN ORDER TO SURVIVE A FULL WINTER DORMANCY.
15. PROVIDE QUALITY, SIZE, GENUS, SPECIES AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI 260.1, 'AMERICAN STANDARD FOR NURSERY STOCK'.
16. ALL PLANT MATERIAL AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. PLANT REPLACEMENT TO OCCUR ONLY ONCE, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS. REPLACEMENT PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS DOCUMENT. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL, WHICH RESULT FROM NATURAL CAUSES.
17. MINIMUM TREE SIZE AT PLANTING IS 3-INCH CALIPER (FOR SINGLE STEM TREES).
18. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING AND PLANTING PIT. REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" OF NEW TOPSOIL-OR-UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF SQUARE FEET PER TREE). CALL LANDSCAPE ARCHITECT FOR AN INSPECTION OF SOIL BEFORE PLANTING.
19. ADJUST PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT MINIMUM 15' OFF SEWER AND STORM DRAIN LINES; PLANT MIN. 10' OFF GAS, WATER, TELEPHONE, AND ELECTRICAL LINES.



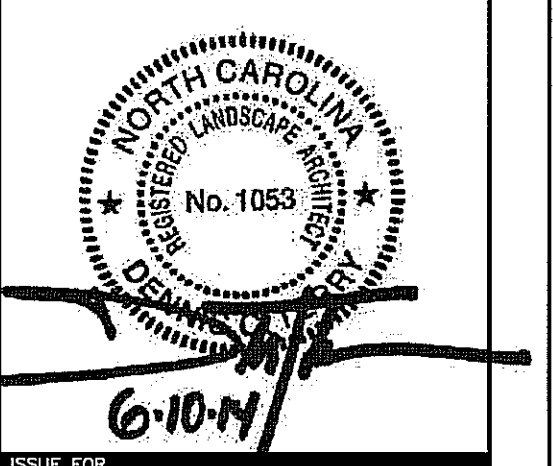
**CAUTION!!!**  
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction



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**WELLS FARGO**



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SHEET TITLE  
LANDSCAPE PLAN

SHEET NUMBER  
**L1.00**